

# Land Information Memorandum

## Disclaimer:

This Land Information Memorandum (LIM) has been obtained from the Auckland City Council on behalf of the Vendors and copies are made available to prospective Purchasers and interested parties for general information purposes only. The information originates from a third party, the Auckland City Council and not from the real estate agent, Cooper and Co Real Estate Ltd or from the Vendor.

Neither the Vendors nor Cooper and Co Real Estate Ltd warrants the accuracy of the LIM and no liability is accepted for any errors or omissions.

It is recommended to all Purchasers and interested parties that they make their own property file enquiries with the Auckland City Council for 'Due Diligence' purposes, and your own investigations with your lawyer.

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Furthermore, Cooper and Co Real Estate Ltd prohibits its sales agents from making statements about structural or weather tight qualities of homes which it sells. Prospective purchasers are advised to seek a Building Report or make their own investigations to be satisfied in all respects.

This Information Compilation has been compiled primarily by the collection, classification and summarisation of records, documents, representations, and financial information ("Compilation") supplied by the Vendor or the Vendors agents. Accordingly Cooper and Co Real Estate Ltd – Licensed Agent REAA 2008 is merely passing over the information as supplied to us by the Vendor or the Vendor's agents. The information herein has been sighted and approved by the Vendor

# Passing Over Form

## **Please Note:**

The attached information has been provided by the Vendor in order to be helpful by assisting you with general information about this property. The information originates from a third party Building Inspector or from Auckland Council and not from the real estate agent, Cooper & Co Real Estate Ltd or from the Vendor.

*Neither the Vendor, the agent, nor Cooper & Co Real Estate Ltd, make any warranty or representation regarding the accuracy, completeness or currency of the information attached.*

You should make your own investigations with your lawyer, the Auckland Council, a Building Inspector and any other desired advisors and you should be satisfied that any adviser or building report is to the New Zealand standards and the provider is covered by indemnity insurance, before you decide to commit to buying this property.

## **Prospective Purchaser to Complete**

I confirm that I will not rely on the attached information and that I will make my own investigations in relation to this property.

Property address: \_\_\_\_\_

Signature/s \_\_\_\_\_

Date \_\_\_\_\_

Joe & Ana Costello c/o Harcourts  
Takapuna  
128 Hurstmere Road  
Takapuna  
AUCKLAND 0622



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<b>Applicant</b>	Joe & Ana Costello c/o Harcourts Takapuna
<b>LIM address</b>	55 Sunset Road Totara Vale 0632
<b>Application number</b>	8270046735
<b>Customer Reference</b>	
<b>Date issued</b>	2-Nov-2017
<b>Legal Description</b>	Lot 1 DP 349448
<b>Certificates of title</b>	202647

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### Disclaimer

This Land Information Memorandum (LIM) has been prepared for the applicant for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987.

The LIM includes information which:

- Must be included pursuant to section 44A of the Local Government Official Information and Meetings Act 1987
- Council at its discretion considers should be included because it relates to land
- Is considered to be relevant and reliable

This LIM does not include other information:

- Held by council that is not required to be included
- Relating to the land which is unknown to the council
- Held by other organisations which also hold land information

Council has not carried out an inspection of the land and/or buildings for the purpose of preparing this LIM. Council records may not show illegal or unauthorised building or works on the land.

The applicant is solely responsible for ensuring that the land or any building on the land is suitable for a particular purpose and for sourcing other information held by the council or other bodies. In addition, the applicant should check the Certificate of Title as it might also contain obligations relating to the land.

The text and attachments of this document should be considered together.

This Land Information Memorandum is valid as at the date of issue only.

## s44A(2)(a) Information identifying any special feature or characteristics of the land

This information should not be regarded as a full analysis of the site features of this land, as there may be features that the Council is unaware of. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose including development.

### Site Contamination

No land contamination data are available in Council's regulatory records.

### Wind Zones

Wind Zone(s) for this property: Low wind speed of 32 m/s

The wind zones are based on wind speed data specific to all building sites as outlined in NZS 3604:2011. Other factors such as topographic classes, site exposure and ground roughness determine the actual wind bracing demands and bracing elements required for the building.

For further information refer to NZS 3604:2011 Section 5 — Bracing Design

### Soil Issues

Soil issues recorded. The land may not be suitable for particular development or land use purposes. A soil report may be required to/must be submitted with any building and/or resource consent application.

Effective Date	Description	Details
12/08/2003	Geotechnical completion/investigation report on file	The development must comply with the report Geotechnical Engineering Appraisal; Additional Dwelling at 55 Sunset Road, Sunnynook; Building Consent No.BC1007411, by Keith Gillespie & Associates Ltd, Ref:3120, dated 12.8.2003.

If any soil information/reports have been prepared in relation to this property, they will be available for viewing at an Auckland Council Service Centre.

### Exposure Zones

New Zealand Standard 3604:2011E classifies all properties in New Zealand into zones based on environmental features including wind, earthquake, snow load and exposure. These zones are relevant to building requirements, such as strength of buildings, materials that should be used and maintenance. All building sites are classified as being in Exposure Zones Extreme Sea Spray, B, C, or D, depending on the severity of exposure to wind driven salt.

This property is classified as: Unknown or Unassessed Corrosion Zone

Unknown or unassessed - No known information is available relating to these sites. Recommended that specific sites and/or product designed and to consult suppliers information for specific durability requirements.

## s44A(2)(b) Information on private and public stormwater and sewerage drains

Information on private and public stormwater and sewerage drains is shown on the **underground services map** attached.

Note: Private drainage is the responsibility of the land owner up to and including the point of connection to the public sewer or drain.

Effective Date	Description	Details
24/05/2005	Stormwater discharge to be controlled	Refer to consent notice on CT
13/08/2013	On-site stormwater management device	Two tanks in tandem: 4.5m <sup>3</sup> reuse storage, 2 yr volume 1.9m <sup>3</sup> , orifice 25mm, 10 yr volume 1.2m <sup>3</sup> , orifice 22mm. For the front unit 1: 2 yr volume 1.1m <sup>3</sup> , orifice 20mm, 10 yr volume 0.7m <sup>3</sup> , orifice 20mm. Annual inspection and cleaning is required at the property owner's cost.

## s44(2)(ba) Information notified to Council by a drinking water supplier under Section 69ZH of the Health Act 1956

Prospective purchasers should be aware of other drinking water systems connected to this property. There may also be private drinking water supply systems such as rainwater tanks or private water bores. You are advised to clarify the drinking water supply with the current landowner.

No Information has been notified to Council.

## s44A(2)(bb) Information Council holds regarding drinking water supply to the land

For metered water information, please contact **Watercare (09) 422 2222** for services provided to this property.

## s44A(2)(c) Information relating to any rates owing in relation to the land

<b>Billing Number/ Rate Account:</b>	12341274204
<b>Rates levied for the Year 2017/2018 :</b>	\$2,048.12
<b>Total rates to clear for the current year (including any arrears):</b>	\$1,536.09

The rates figures are provided as at 8 a.m. 02/11/2017. It is strongly advised these are not used for settlement purposes.

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### Retrofit Your Home Programme

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The Retrofit Your Home programme provides financial assistance, advice and information to householders wanting to create an improved home environment.

The scheme contributes to the achievement of the Air Quality National Environmental Standards encouraging the installation of clean heat and insulation in homes as well as supporting access to central government grants and subsidies. The programme offers homeowners a retrofit plan for their homes and

financial assistance up to \$5000 repaid through a targeted rate.

 Auckland Council (09) 890 7898 if you require further information

 retrofit@aucklandcouncil.govt.nz

**s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and (2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004**

Note: if the land is part of a cross lease title or unit title, consents and permits for the other flats or units may be included in this LIM. If the land has been subdivided there may be consents and permits included that relate to the original property.

It is recommended that the full property file is viewed and compared with the actual building and activities on the land to identify any illegal or unauthorised building works or activities.

### Financial / development contributions

Financial and development contributions are relevant for recently subdivided land, vacant lots, new residential unit(s) or where there is further development of a site. If any financial or development contribution has not been paid, Council can recover outstanding amount(s) from a subsequent owner of the land.

Please note that financial contributions and development contributions may be paid in land, cash or a combination of these. The form of payment of contributions may be subject to negotiation but final discretion remains with the Council.

### Resource Management

#### Planning

55 Sunset Road Totara Vale 0632

Application No.	Description	Decision	Decision Date
LG-2003501	Land Use Consent Relocated dwelling, tree removal, Height in Relation to Boundary, earthworks, gradient, yards	Granted	05/12/2003

#### Subdivisions

55 Sunset Road Totara Vale 0632

Application No.	Description	Decision	Decision Date
SA-3011641	Subdivision Consent Proposed 2 Lot subdivision fo Lot 1 DP56816	Completion Cert Approved	10/12/2004

#### Engineering Approvals

There are **NO** Engineering approvals recorded.

If there are any conditions, then only that portion of the consent will be included in the attachments section. The applicant should satisfy themselves as to whether all conditions of resource consents for this property have been met.

### Further Information

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The Council may hold additional information for this property, for example concerning resource consents for discharges to air, land or water issued by the former Auckland Regional Council prior to 1 November 2010. If you would like Auckland Council to search for this type of information, please contact us.

### Building

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55 Sunset Road Totara Vale 0632

Application No.	Description	Issue Date	Status
30925	Drainage	13/09/1985	Issued (See Note 1)

Note	Description
1	Permit issued prior to the Building Act 1991 taking effect. Code Compliance Certificates (CCC) were not required.

Please note that prior to the Building Act 1991; Councils were not required to maintain full records of building consents [etc] issued under the Building Act. While Auckland Council has always endeavoured to maintain full records of pre-Building Act 1991 matters, not all records for this period have survived and in other cases where building work is documented, information may be incomplete. Council does not accept responsibility for any omission.

It is recommended that the Council property file is viewed and compared with the actual building and activities on site to identify any illegal or unauthorised building works or activities.

### Compliance Schedules (Building Warrant of Fitness)

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The Council has no record of a Compliance Schedule for this property/building.

If it is evident that any specified systems such as lifts or commercial fire alarms are present in the building, the owner must ensure there is a current compliance schedule or building warrant of fitness.

### Swimming/Spa Pool Barriers

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The Council has no record of a swimming pool or spa pool being registered on this property. Swimming pools and spa pools must have a barrier that complies with the Building Act 2004.

Pool barrier information is available for viewing at <http://www.aucklandcouncil.govt.nz>

### Licences

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There are NO current licences recorded

**s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006**

The Council has not been notified of any information under Section 124 of the Weathertight Homes Resolution Services Act 2006 relating to this property.

**s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use**

Purchasers or those intending to develop the land should satisfy themselves that the land is suitable for any intended use or future development proposal. In addition to any site specific limitations recorded below, general restrictions that apply across the region may be relevant to any development proposals on this property.

<b>Zoning:</b>	Residential 1 - 8 Residential 4A
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<b>Proposed Modifications</b>	No site specific modification recorded
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**Notified District Plan Changes**

From time to time changes to the District Plan are proposed through Plan Changes. Plan changes are publicly notified so that people can make submissions on the proposed changes. These Plan Changes may propose to alter the zone or policies or rules that apply to land or sites in a particular locality. Plan changes may affect particular land, sites or development rights and obligations in many and varied ways. Please refer to the District Plan for information on any proposed Plan Changes or see the Auckland Council website at: <http://www.aucklandcouncil.govt.nz/EN/planspoliciesprojects/plansstrategies/DistrictRegionalPlans/Pages/proposedamendmentstoplans.aspx>.

**Restriction(s)**

This property is affected by the following restriction(s):

Effective Date	Description	Details
24/05/2005	Foundation design restrictions	Refer to consent notice on CT

Further information on these restrictions may be provided elsewhere in this document. Alternatively please contact a Resource Management Planner at an Auckland council service centre or by telephone for further information.

District Plans (including appendices) and any proposed changes to them are available to view at all Council offices or on-line at Councils' website: [www.aucklandcouncil.govt.nz](http://www.aucklandcouncil.govt.nz). Please note the District Plan attached is relevant to the property of the LIM. Where a property abuts a Legacy Council boundary, only the District Plan details of that property are shown.

**Proposed Unitary Plan**

**Please note** that the **Auckland Unitary Plan - Operative in part** applies to this property and should be carefully reviewed and considered, as it may have implications for how this property can be developed and/or used. As from 15 November 2016 parts of the Auckland Unitary Plan are operative. Where that is the case,



those parts of the Auckland Unitary Plan replace the corresponding parts of legacy regional and district plans. Certain parts of the Auckland Unitary Plan have not become operative. Where this is the case, both the Auckland Unitary Plan and the legacy regional and district plans will need to be considered.

The relevant planning maps from the Auckland Unitary Plan and legacy district plans are attached.

The Auckland Unitary Plan can be viewed online at:

<http://www.aucklandcouncil.govt.nz/EN/planspoliciesprojects/plansstrategies/unitaryplan/Pages/home.aspx>

and the (legacy) regional and district plans can be viewed online at

<http://www.aucklandcouncil.govt.nz/EN/planspoliciesprojects/plansstrategies/DistrictRegionalPlans/Pages/Home.aspx>

Unitary plan documentation on last attachment.

Copies of the appeals to the Auckland Unitary Plan can be viewed online at:

<http://www.aucklandcouncil.govt.nz/EN/planspoliciesprojects/plansstrategies/unitaryplan/Pages/paupappeals.asp>

### **Information concerning Caveat, Bond, Encumbrance, Consent Notice and Covenant**

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For any information concerning Caveats, Bonds, Encumbrances, Consent Notices or Covenants, please refer to the Certificate of Title for this property.

#### **s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation**

No information has been notified to Council.

#### **s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004**

Underground Services and District Plan maps are attached.

Please note: Height restrictions apply where overhead power lines cross the site. Works near water services utilities may require approval. Works near high-pressure Gas, Oil or LPG pipelines create risk of damage and must first be approved. Please contact the relevant Utility provider in your area for further information.

Any escape of gas or liquid from the pipelines is potentially dangerous and requires immediate action as soon as discovered (Dial 111 and ask for the Fire Service).

## Attachments

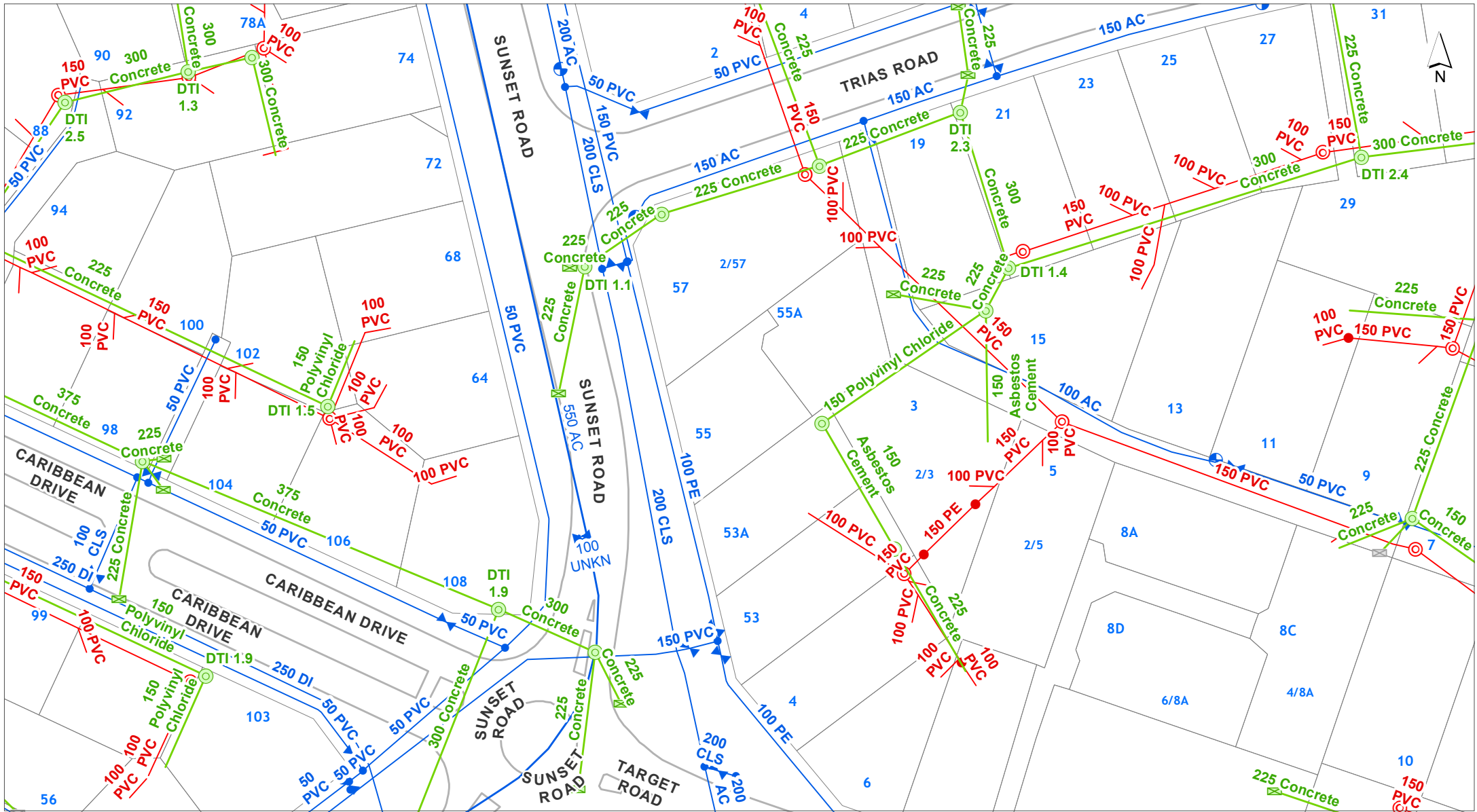
As the placement of the building/s on the attached maps is based on aerial photography we cannot guarantee the accuracy. A formal survey will indicate the exact location of the boundaries.

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- Underground Services & Utilities Map and Map Legend
- Special Land Features Map and Map Legend
- The Proposed Auckland Unitary Plan - Decisions version
- District Plan Excerpt Map and Map Legend
- Proposed Auckland Unitary Plan Property Summary Report

Please note Map Legends have been created for use across the region and may contain features which were not captured by the previous legacy Councils; therefore the information may not be available for these maps. Please contact the Resource Management Planning Team in your area for further information on any features which may or may not appear on your map.

- As Built Drainage Plan : 30925
- As Built Drainage Plan : Drainage
- Consent Conditions : LG 2003501



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**Underground Services**  
 55 Sunset Road Totara Vale 0632  
 Lot 1 DP 349448

0 7 14 21  
 Meters  
 Scale @ A4  
 = 1:1,000  
 Date Printed:  
 2/11/2017



Stormwater

Note: Unless otherwise specified, Stormwater feature status is represented by the following colour scheme:

**Public** , **Private** or **Abandoned**

	Treatment Device		Overland Flowpath (Public)
	Septic Tank		Overland Flowpath (Private)
	Septic Tank (Hi-Tech)		Forebay (Public)
	Soakage System		Forebay (Private)
	Inspection Chamber		Treatment Facility (Public)
	Manhole (Standard / Custom)		Treatment Facility (Private)
	Inlet & Outlet Structure		Pump Station
	Inlet & Outlet (No Structure)		Planting
	Catchpit		Embankment
	Spillway		Viewing Platform
	Safety Benching		Bridge
	Culvert / Tunnel		Erosion & Flood Control (Other Structure)
	Subsoil Drain		Erosion & Flood Control (Wall Structure)
	Gravity Main		
	Rising Main		
	Connection		
	Fence		
	Channel		
	Watercourse		

Water

	Valve
	Hydrant
	Fitting
	Other Watercare Point Asset
	Other Watercare Linear Asset
	Local Pipe (Bulk)
	Local Pipe (In Service)
	Local Pipe (Abandoned)
	Transmission Pipe (In Service)
	Transmission Pipe (Out of Service)
	Transmission Pipe (Proposed)
	Pump Station
	Reservoir
	Other Structure (Local)
	Chamber (Transmission)
	Water Source (Transmission)
	Other Watercare Structures and Areas

Wastewater

	Fitting
	Fitting (Non Watercare)
	Manhole
	Pipe (Non Watercare)
	Local Pipe (Main / Service Line)
	Local Pipe (Abandoned)
	Local Pipe (Future)
	Transmission Pipe (In Service)
	Transmission Pipe (Out of Service)
	Transmission Pipe (Proposed)
	Chamber
	Structure (Non Watercare)
	Pump Station
	Wastewater Catchment
<b>Waitakere (WCC) only:</b>	
	Septic Tank Hi-Tech
	Septic Tank Standard
	Caravan Dumping Point
	Chemical System
	Composting Toilet
	DEVONBLUE - Treatment Plant
	Recirculation Textile Filter
	Wastewater Disposal Bed or Field

Utilities

	Transpower Site
	Pylon (Transpower)
	220kv Line (Transpower)
	110kv Line (Transpower)
	33kv Line (Transpower) & Underground Line (Mercury)
	Transmission Line (Vector)
	Oil Services Pipeline [Wiri]
	Liquid Fuels Pipeline [Wiri to Marsden]
	High-Pressure Gas Pipeline (Vector & Orion)
	Medium-Pressure Gas Pipeline (Vector & Orion)
	Indicative Steel Mill Slurry Pipeline
	Indicative Steel Mill Water Pipeline
	Fibre Optic Cable (ARTA)

Legend updated: 30/11/2016

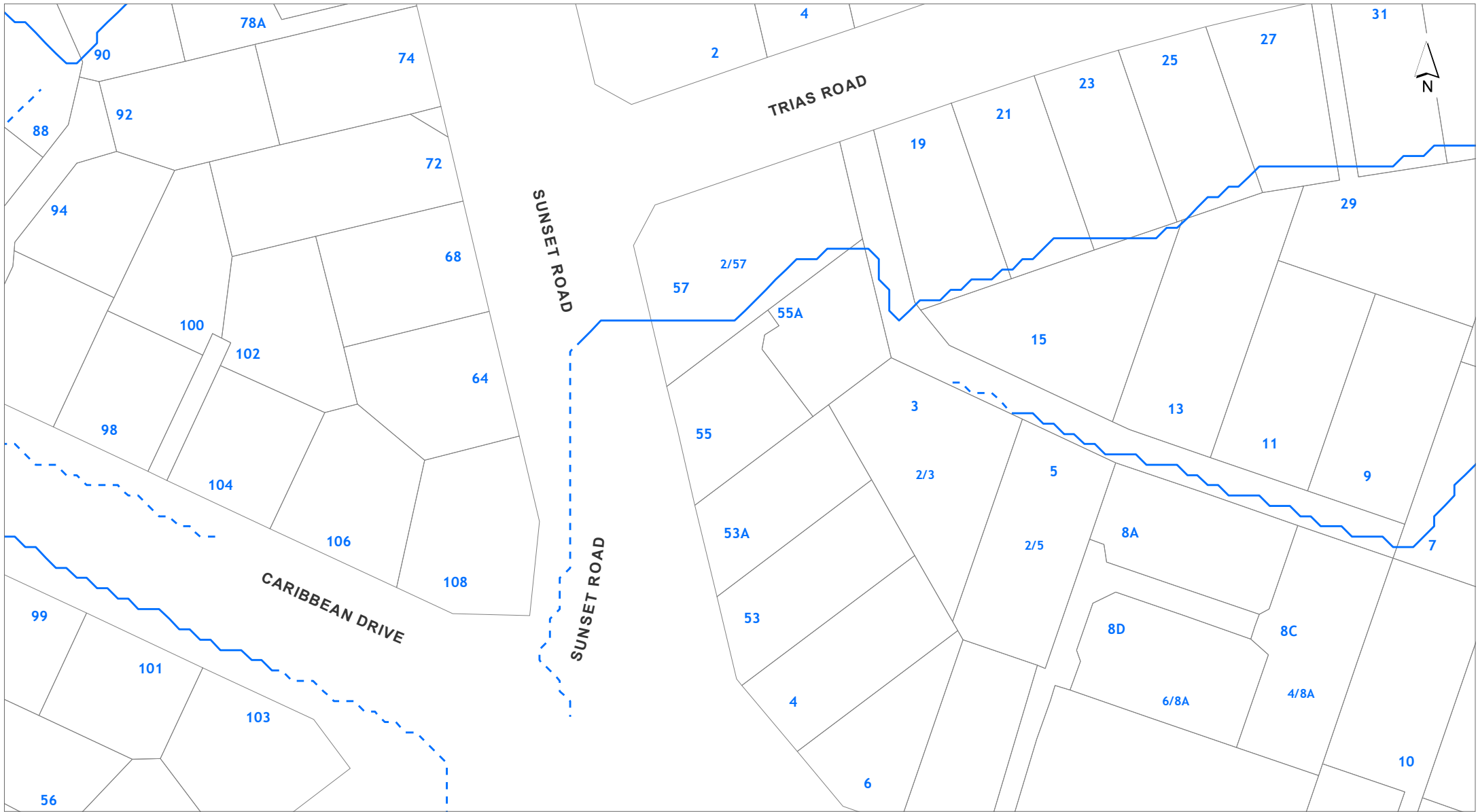


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**1 - Hazards**  
**55 Sunset Road Totara Vale 0632**  
 Lot 1 DP 349448

0 6.5 13 19.5  
 Meters  
 Scale @ A4  
 = 1:1,000  
 Date Printed:  
 2/11/2017



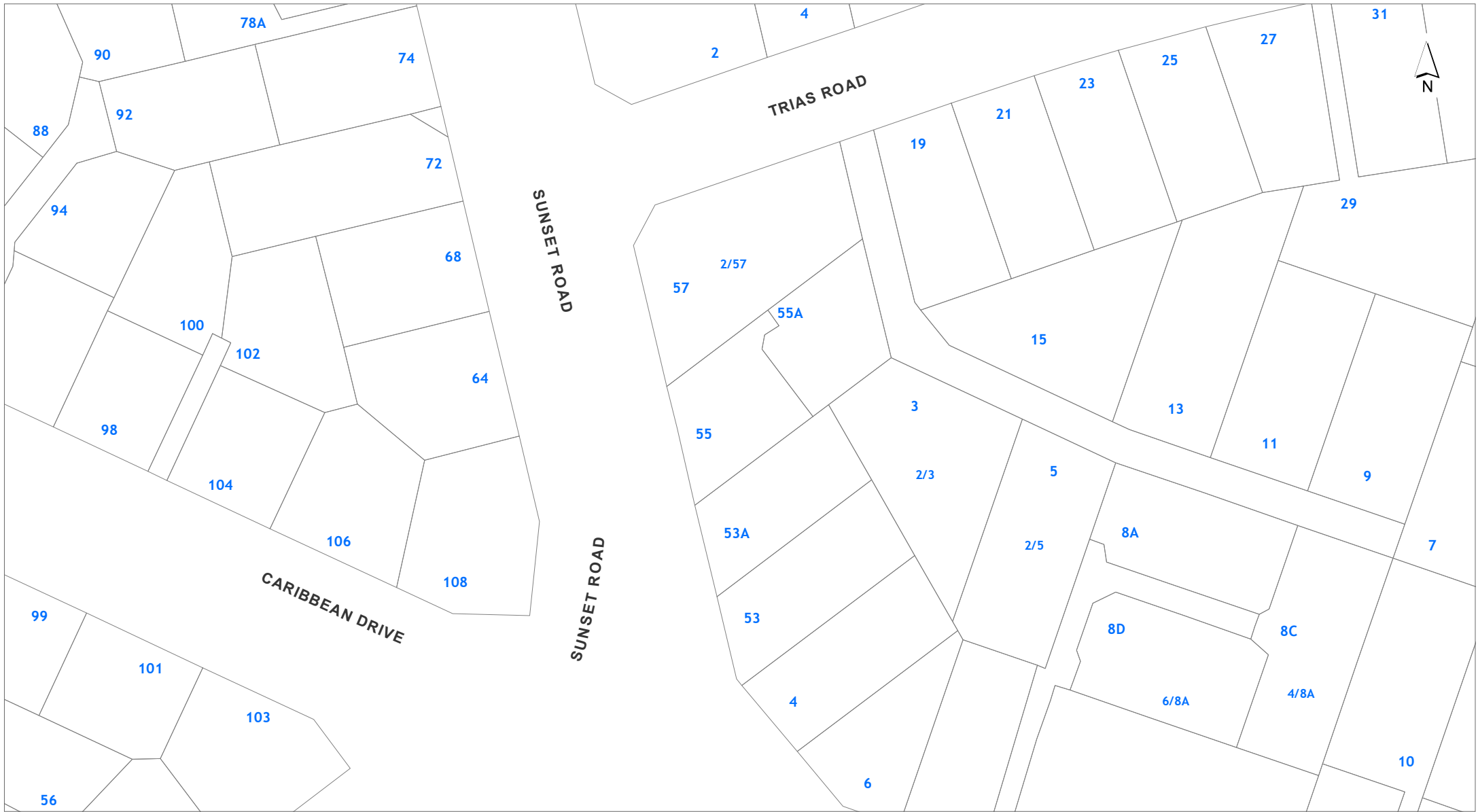


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**2 - Natural Hazards**  
**55 Sunset Road Totara Vale 0632**  
**Lot 1 DP 349448**

0 6.5 13 19.5  
Meters  
Scale @ A4  
= 1:1,000  
Date Printed:  
2/11/2017





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**3 - Other**  
**55 Sunset Road Totara Vale 0632**  
**Lot 1 DP 349448**

0 6.5 13 19.5  
Meters  
**Scale @ A4**  
**= 1:1,000**  
**Date Printed:**  
**2/11/2017**










Hazards

Soil Warning Area

-  Fill (Franklin District only)
-  Advisory (Franklin District only)
-  Contamination (Franklin District only)
-  Erosion (Franklin District only)
-  Hazardous Activities & Industries List (HAIL) (Franklin District only)
-  Inundation (Franklin District only)
-  Rainfall Event (Franklin District only)
-  Slippage (Franklin District only)
-  Subsidence (Franklin District only)
-  Slippage / Subsidence / Erosion etc (Auckland City and Papakura District only)
-  Uncertified Fill (Auckland City and Papakura District only)
-  Organic Soil (Auckland City and Papakura District only)
-  Filled / Weak Ground (Auckland City and Papakura District only)
-  Refuse Tips Site / Weak Area (Auckland City and Papakura District only)
-  Unstable / Suspected Ground (Auckland City and Papakura District only)
-  Allochthon Waitemata (Rodney District only)
-  Motatau Complex (Rodney District only)
-  Puriri Mudstone (Rodney District only)
-  Mahurangi Limestone (Rodney District only)
-  Mangakahia Complex (Rodney District only)
-  Hukerenui Mudstone (Rodney District only)
-  Whangai Formation (Rodney District only)
-  Tangihua Complex (Rodney District only)
-  within 150m of Northland Allochthon (Rodney District only)










Hazards

Soil Warning Area continued

-  Soil D (Rodney District only)
-  within 150m of Soil D (Rodney District only)
-  Soil C (Rodney District only)
-  within 150m of Soil C (Rodney District only)
-  Soil B (Rodney District only)
-  within 150m of Soil B (Rodney District only)
-  Soil A (Rodney District only)
-  Gas Main Pipeline
-  Petroleum Pipeline
-  Closed Landfill (Auckland Council owned)
-  Closed Landfill (Privately owned)
-  Air Discharge (Franklin District only)
-  No Soakage (Franklin District only)
-  Indicative Steel Mill Slurry Line 20m Buffer (Franklin District only)
-  Indicative Steel Mill Water Line 20m Buffer (Franklin District only)








Natural Hazards

Overland Flow Path

-  2000m<sup>2</sup> to 4000m<sup>2</sup>
-  4000m<sup>2</sup> to 3ha
-  3ha and above
-  Flood Plains
-  Flood Prone Areas
-  Flood Sensitive Areas
-  Coastal Inundation
-  Sea Spray
-  Volcanic Cones

Other

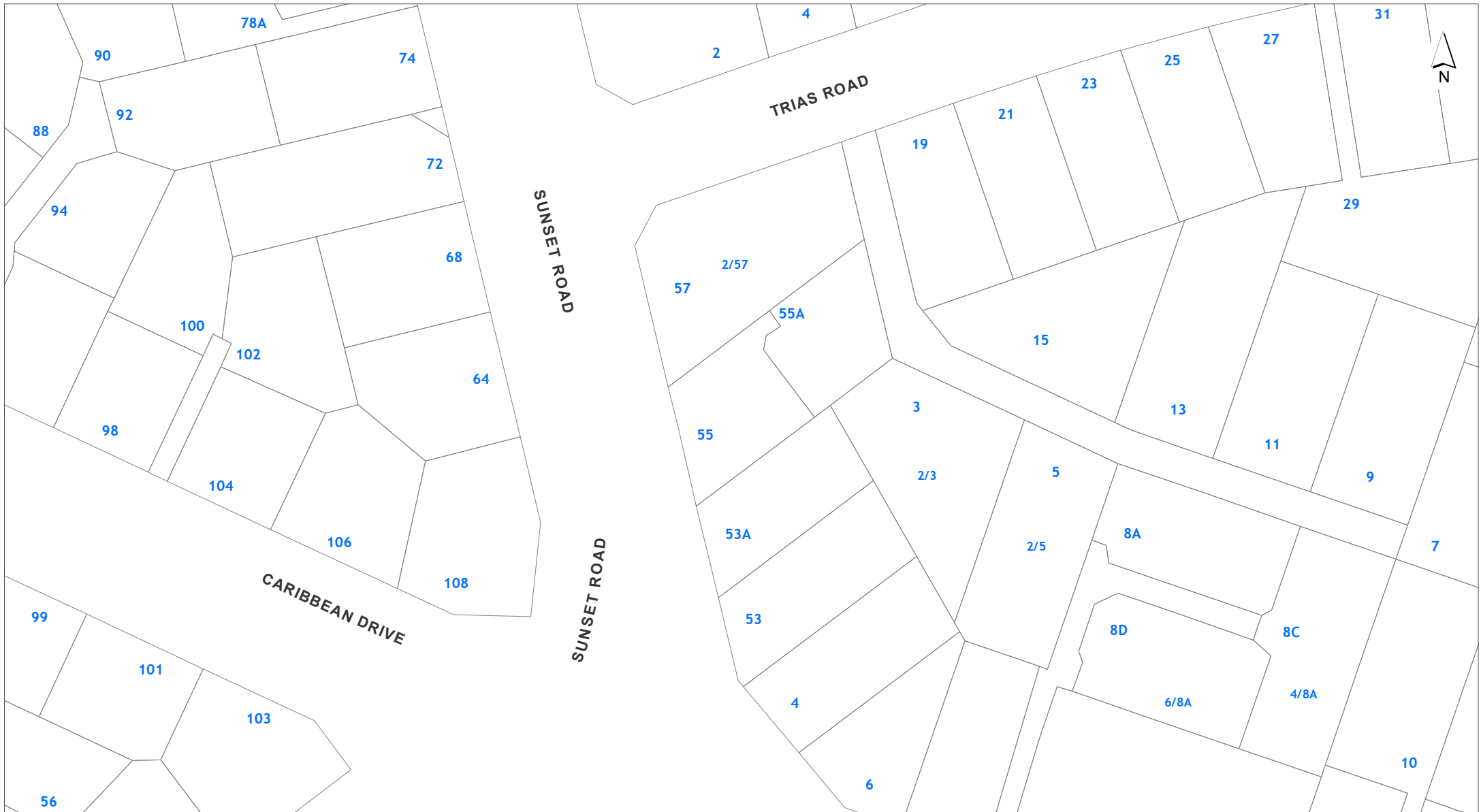
Cultural Heritage Index

-  Archaeological Site
-  Hayward and Diamond
-  Historic Botanical Site
-  Historic Structure
-  Maori Heritage Area
-  Maritime Site
-  Reported Historic Site

The information Council holds in relation to Special Land Features differs based on the area a property is located in. Those areas where information is held on a Special Land Feature is denoted in the legend above.

Legend updated: 5/05/2017



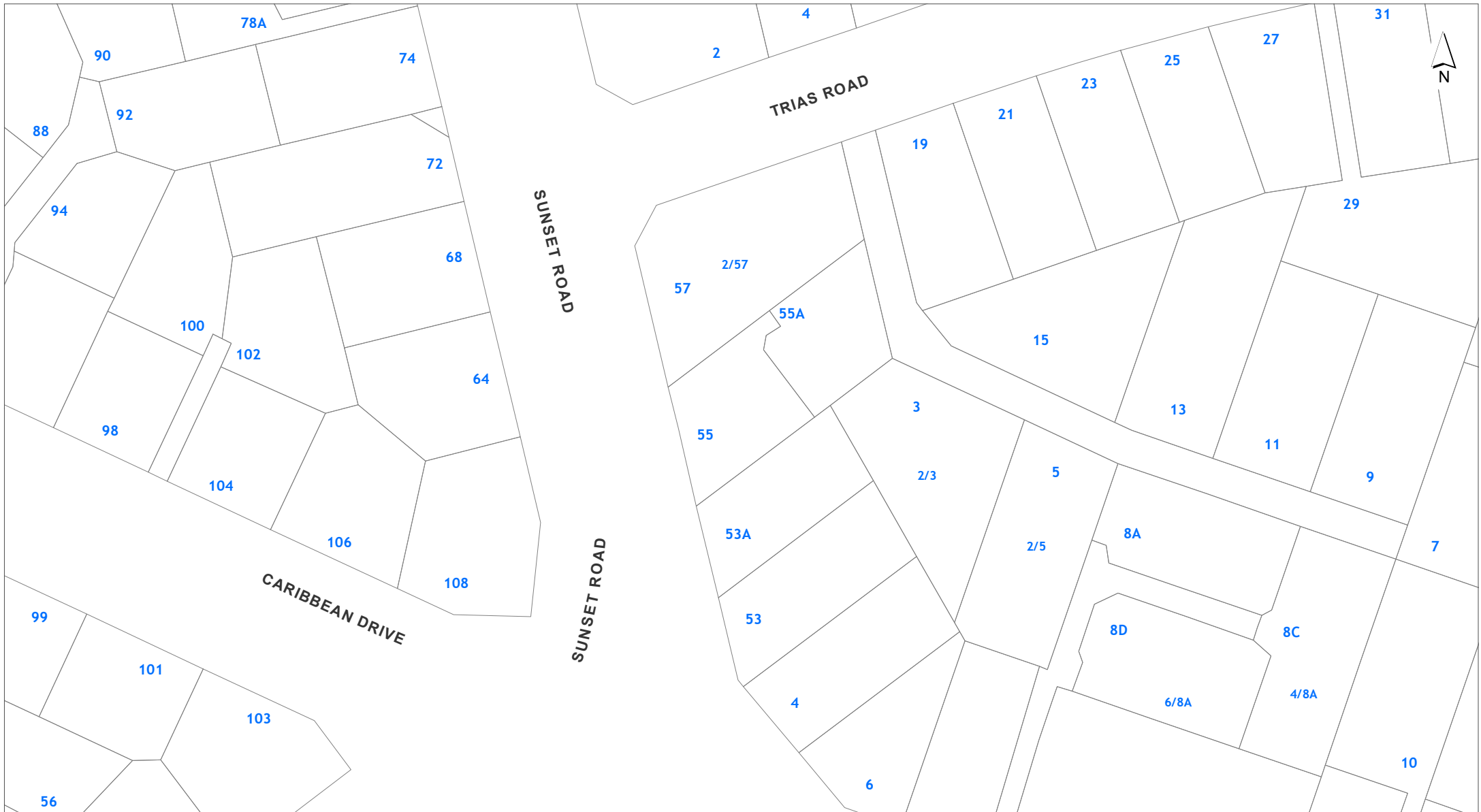


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**Built Environment**  
**55 Sunset Road Totara Vale 0632**  
**Lot 1 DP 349448**

0 7 14 21  
Meters  
Scale @ A4  
= 1:1,000  
Date Printed:  
2/11/2017



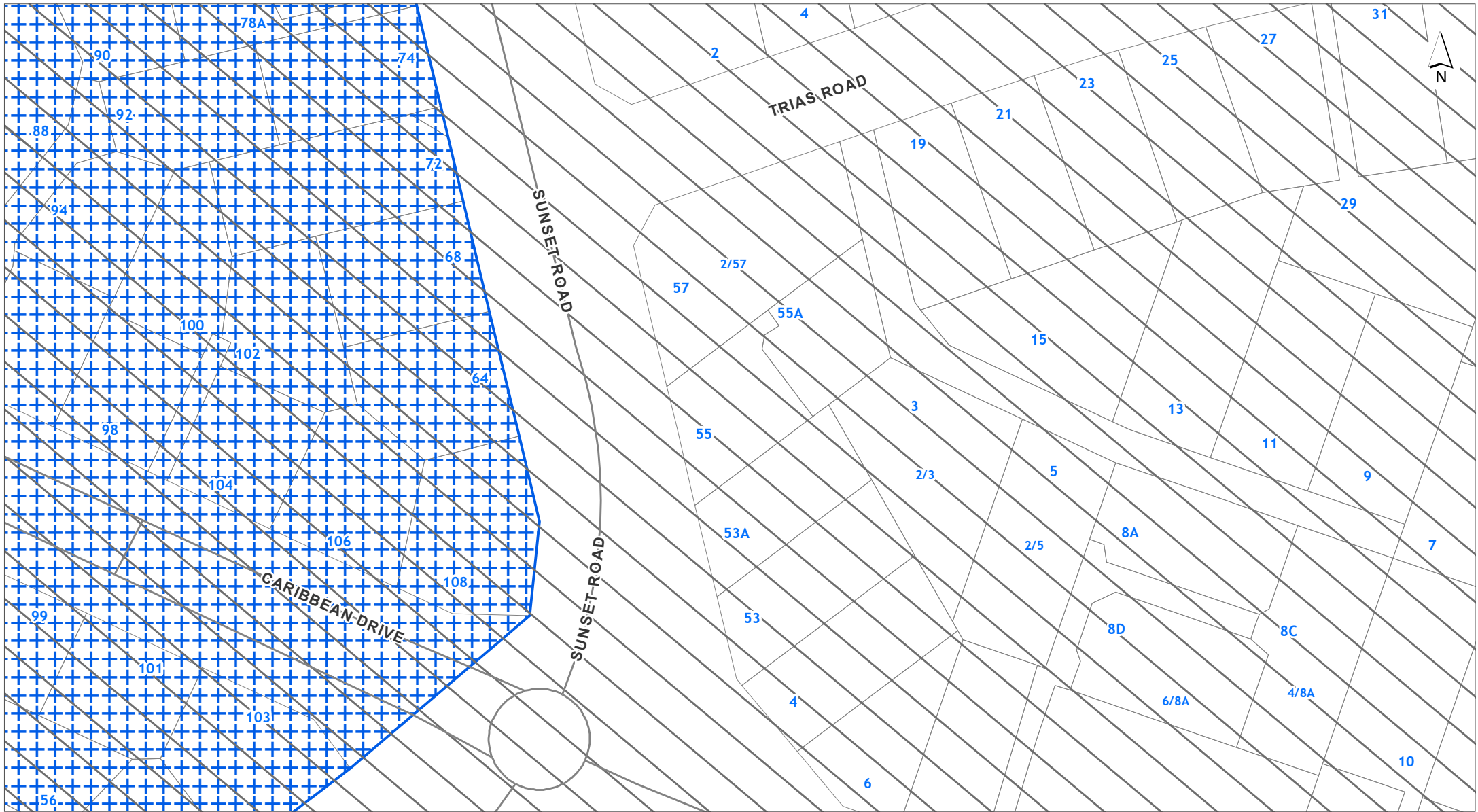


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**Built Heritage and Character**  
**55 Sunset Road Totara Vale 0632**  
**Lot 1 DP 349448**

0 7 14 21  
 Meters  
**Scale @ A4**  
 = 1:1,000  
**Date Printed:**  
 2/11/2017



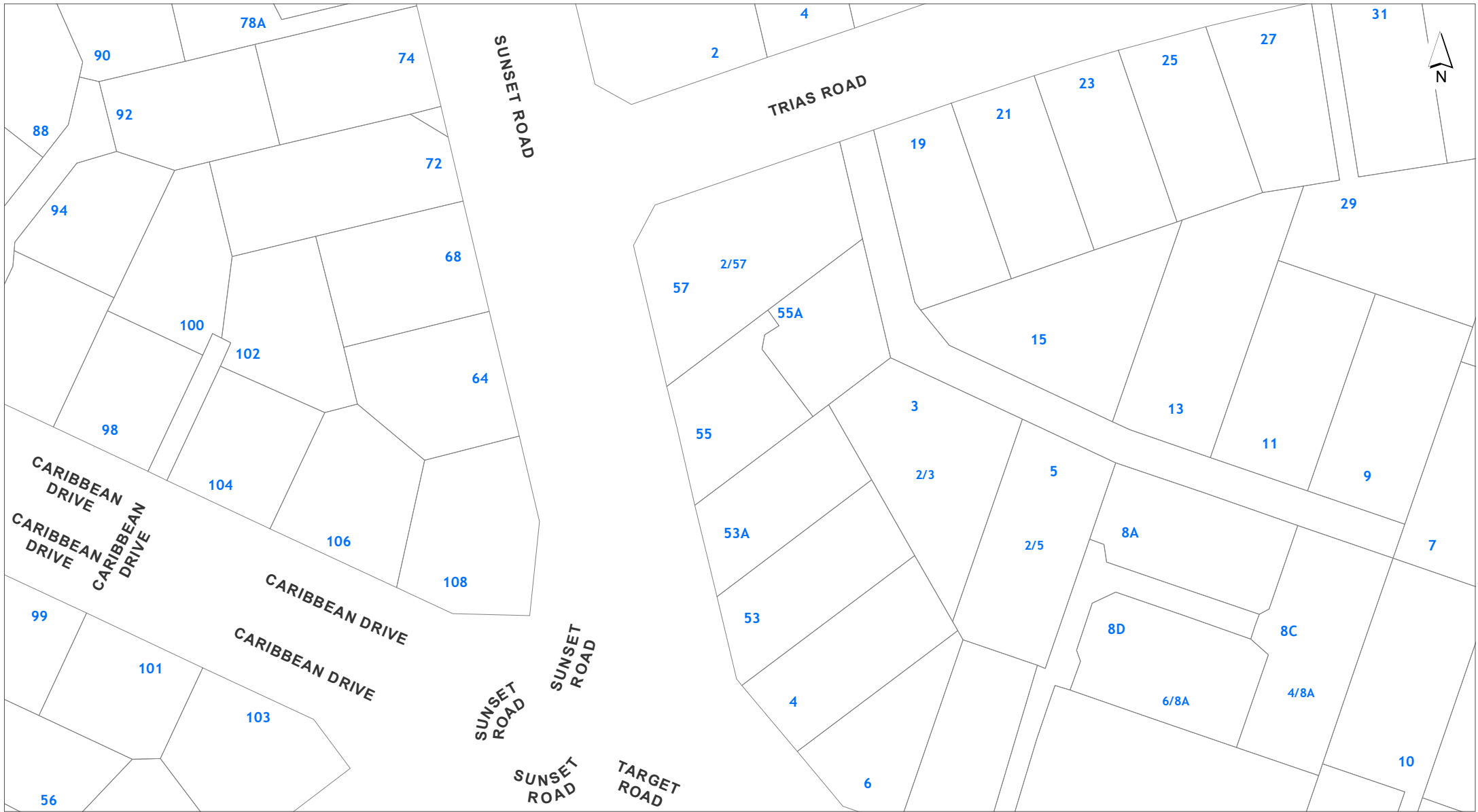


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**Controls**  
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**Designations**  
**55 Sunset Road Totara Vale 0632**  
**Lot 1 DP 349448**

0 7 14 21  
 Meters  
**Scale @ A4**  
 = 1:1,000  
**Date Printed:**  
 2/11/2017





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**Infrastructure**  
**55 Sunset Road Totara Vale 0632**  
**Lot 1 DP 349448**

0 7 14 21  
Meters  
Scale @ A4  
= 1:1,000  
Date Printed:  
2/11/2017





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**Mana Whenua**  
**55 Sunset Road Totara Vale 0632**  
**Lot 1 DP 349448**

0 7 14 21  
 Meters  
**Scale @ A4**  
 = 1:1,000  
**Date Printed:**  
 2/11/2017



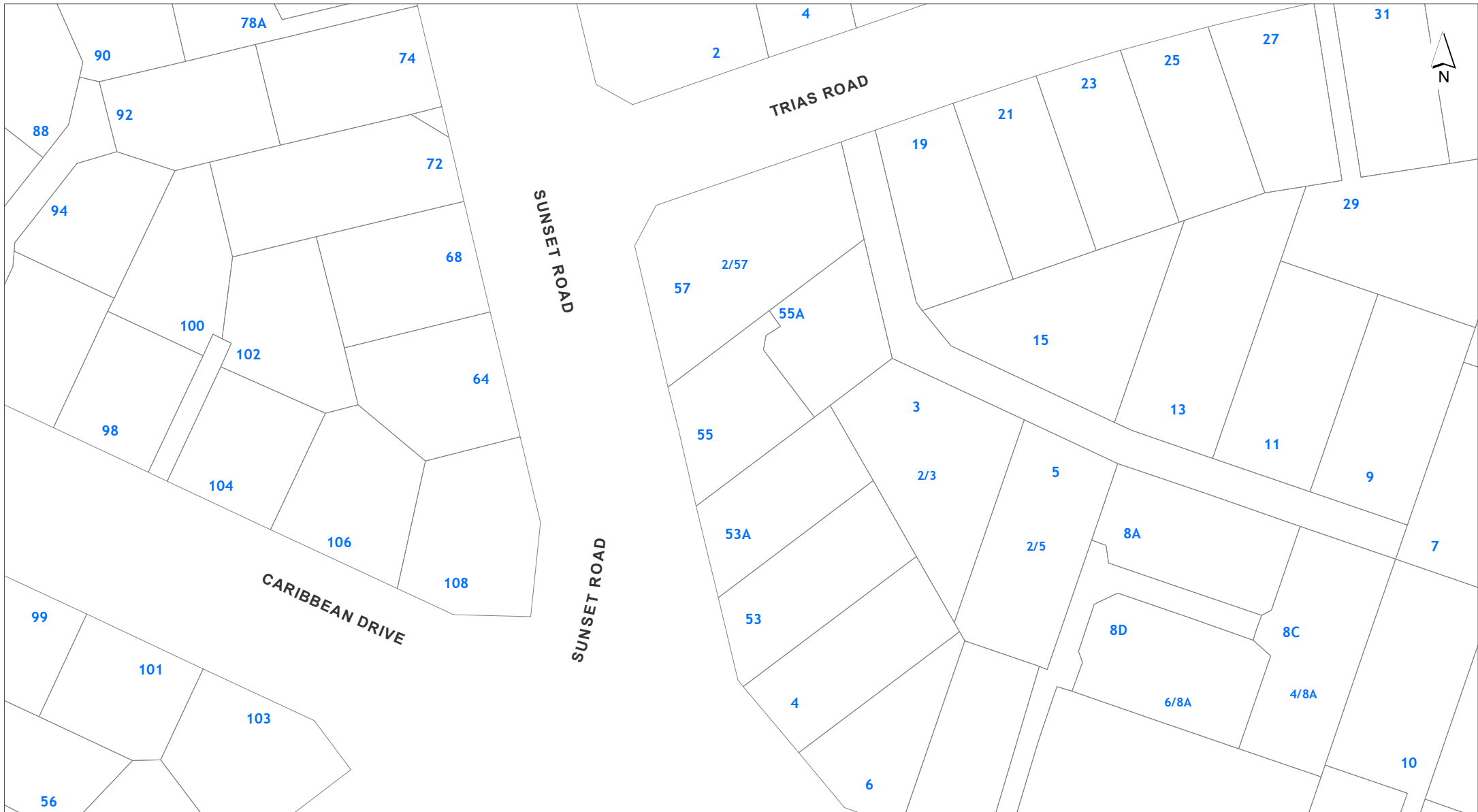


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Natural Heritage  
55 Sunset Road Totara Vale 0632  
Lot 1 DP 349448

0 7 14 21  
Meters  
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Natural Resources  
55 Sunset Road Totara Vale 0632  
Lot 1 DP 349448

0 7 14 21  
Meters  
Scale @ A4  
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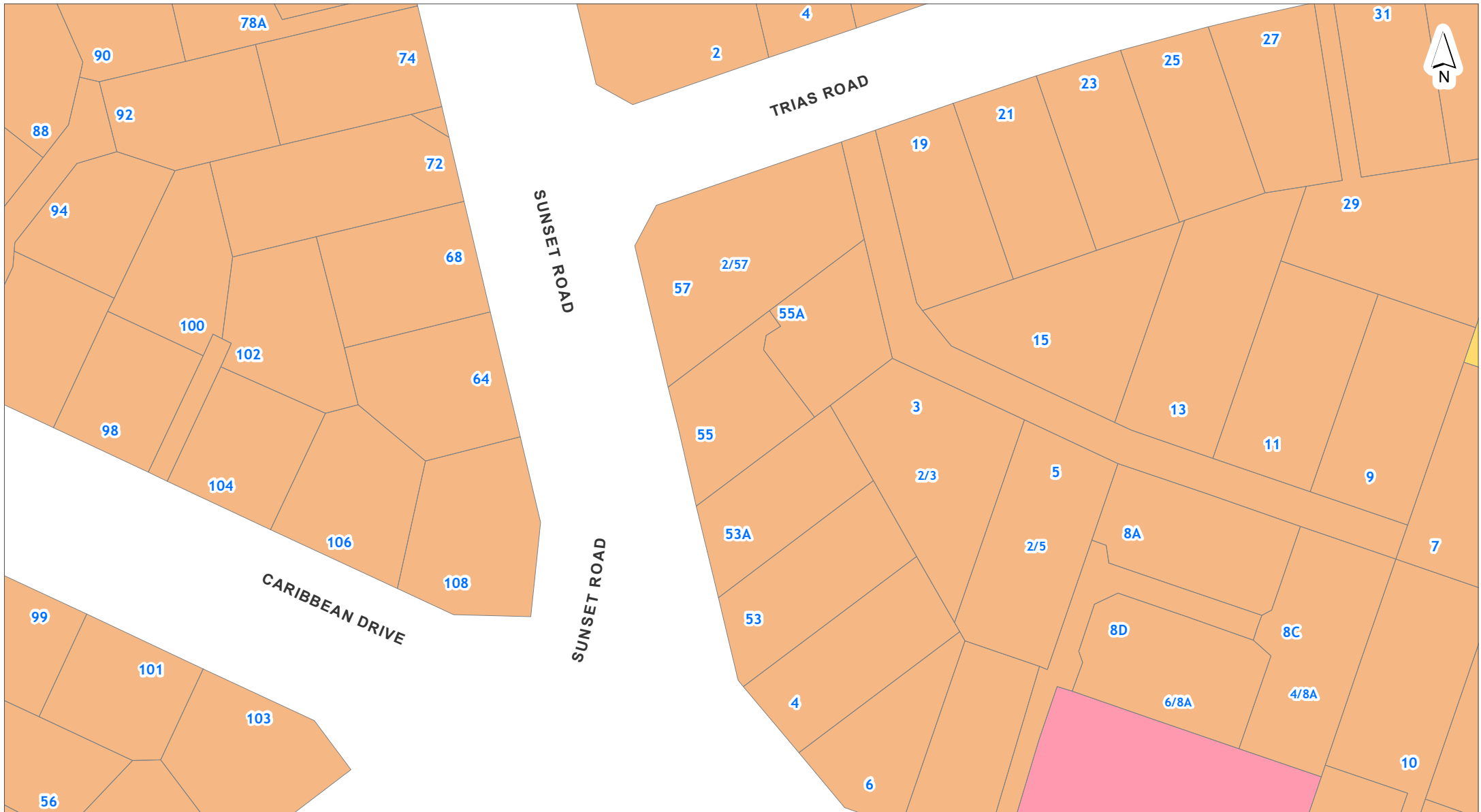


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**Precincts**  
**55 Sunset Road Totara Vale 0632**  
**Lot 1 DP 349448**

0 7 14 21  
 Meters  
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Zones and Rural Urban Boundary  
55 Sunset Road Totara Vale 0632  
Lot 1 DP 349448

0 7 14 21  
Meters  
Scale @ A4  
= 1:1,000  
Date Printed:  
2/11/2017



# Auckland Unitary Plan Operative in part 15th November 2016 - LEGEND

## Appeals

- Properties affected by Appeals seeking change to zones or management layers
- Properties affected by Appeals seeking reinstatement of management layers

## Plan Modifications

- Notice of Requirements
- Plan Changes

### ZONES

	Residential - Large Lot Zone
	Residential - Rural and Coastal Settlement Zone
	Residential - Single House Zone
	Residential - Mixed Housing Suburban Zone
	Residential - Mixed Housing Urban Zone
	Residential - Terrace Housing and Apartment Buildings Zone
	Business - City Centre Zone
	Business - Metropolitan Centre Zone
	Business - Town Centre Zone
	Business - Local Centre Zone
	Business - Neighbourhood Centre Zone
	Business - Mixed Use Zone
	Business - General Business Zone
	Business - Business Park Zone
	Business - Heavy Industry Zone
	Business - Light Industry Zone
	Open Space - Conservation Zone
	Open Space - Informal Recreation Zone
	Open Space - Sport and Active Recreation Zone
	Open Space - Civic Spaces Zone
	Open Space - Community Zone

### ZONES

	Rural - Rural Production Zone
	Rural - Mixed Rural Zone
	Rural - Rural Coastal Zone
	Rural - Rural Conservation Zone
	Rural - Countryside Living Zone
	Rural - Waitakere Foothills Zone
	Rural - Waitakere Ranges Zone
	Future Urban Zone
	Green Infrastructure Corridor (Operative in some Special Housing Areas)
	Coastal - General Coastal Marine Zone [rcp]
	Coastal - Marina Zone [rcp/dp]
	Coastal - Mooring Zone [rcp]
	Coastal - Minor Port Zone [rcp/dp]
	Coastal - Ferry Terminal Zone [rcp/dp]
	Coastal - Defence Zone [rcp]
	Coastal - Coastal Transition Zone
	Special Purpose Zone - Airports & Airfields, Cemetery, Quarry, Healthcare Facility & Hospital, Tertiary Education, Maori Purpose, Major Recreation Facility, School
	Strategic Transport Corridor Zone
	Water [i]

### Tagging of Provisions:

- [ i ] = Information only
- [ rp ] = Regional Plan
- [ rcp ] = Regional Coastal Plan
- [ rps ] = Regional Policy Statement
- [ dp ] = District Plan (only noted when dual provisions apply)

## DESIGNATIONS

- Designations
- Airspace Restriction Designations

### OVERLAYS

	Terrestrial [rp/dp]	Significant Ecological Areas Overlay
	Marine 1 [rcp]	
	Marine 2 [rcp]	
	Natural	Lake Management Areas Overlay (Natural Lake and Urban Lake)
	Urban	
	Water Supply Management Areas Overlay [rp]	
	Natural Stream Management Areas Overlay [rp]	
	High-Use Stream Management Areas Overlay [rp]	
	High-Use Aquifer Management Areas Overlay [rp]	
	Quality-Sensitive Aquifer Management Areas Overlay [rp]	
	Wetland Management Areas Overlay [rp]	
	Airport Approach Surface Overlay	Infrastructure
	Aircraft Noise Overlay	
	City Centre Port Noise Overlay [rcp / dp]	
	Quarry Buffer Area Overlay	
	Uncompromised	National Grid Corridor Overlay
	National Grid Corridor	
	Compromised	
	Sites & Places of Significance to Mana Whenua Overlay [rcp/dp]	Mana Whenua

- Precincts
- Indicative Coastline [i]
- Rural Urban Boundary

### OVERLAYS

	Notable Trees Overlay	Natural Heritage
	Outstanding Natural Features Overlay [rcp/dp]	
	Outstanding Natural Landscapes Overlay [rcp/dp]	
	Outstanding Natural Character Overlay [rcp/dp]	
	High Natural Character Overlay [rcp/dp]	
	Local Public Views Overlay [rcp/dp]	
	Viewshafts	Regionally Significant Volcanic Viewshafts & Height Sensitive Areas Overlay [rcp/dp]
	Height Sensitive Areas	
	Regionally Significant Volcanic Viewshafts Overlay Contours [i]	
	Locally Significant Volcanic Viewshafts Overlay [rcp/dp]	
	Locally Significant Volcanic Viewshafts Overlay Contours [i]	
	Extent of Overlay	Waitakere Ranges Heritage Area Overlay
	Subdivision Schedule	
	Modified	Ridgeline Protection Overlay
	Natural	

### OVERLAYS

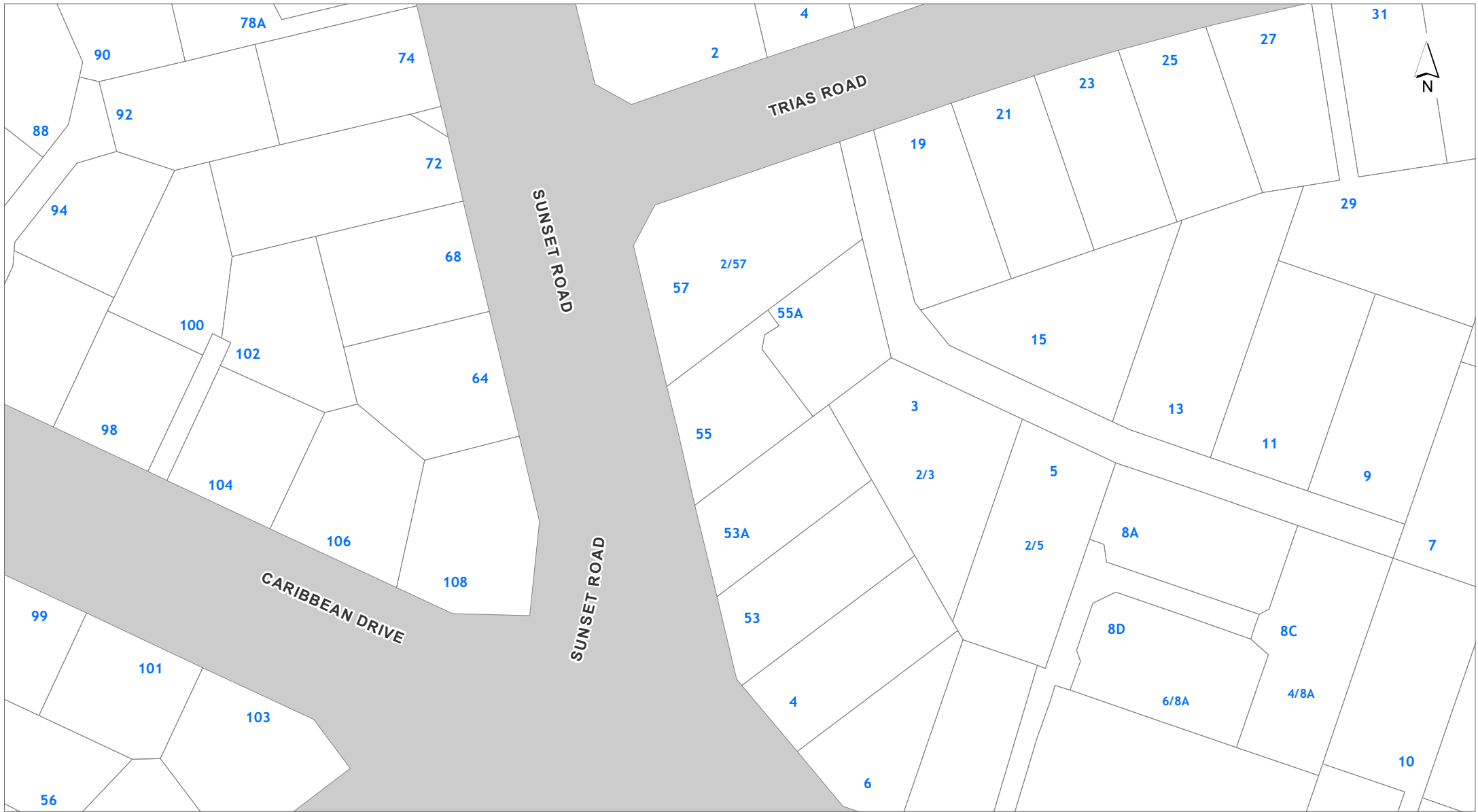
	Historic Heritage Overlay Place [rcp/dp]	Built Heritage & Character
	Historic Heritage Overlay Extent of Place [rcp/dp]	
	Special Character Areas Overlay Residential and Business	
	Auckland War Memorial Museum Viewshaft Overlay [rcp/dp]	
	Auckland War Memorial Museum Viewshaft Overlay Contours [rcp/dp]	
	Dilworth Terrace Houses Viewshaft Overlay	
	Dilworth Terrace Houses Viewshaft Overlay Contours	

### CONTROLS

	Key Retail Frontage	Building Frontage Control
	General Commercial Frontage	
	Adjacent to Level Crossings	Vehicle Access Restriction Control
	General	
	Motorway Interchange Control	
	Coastal Inundation 1 per cent AEP Plus 1m Control	
	Business Park Zone Office Control	
	Cable Protection Areas Control [rcp]	
	Centre Fringe Office Control	
	Height Variation Control	
	Arterial Roads	

### CONTROLS

	Identified Growth Corridor Overlay	Built Environment
	Hazardous Facilities	
	Infrastructure	
	Flow 1 [rp]	Stormwater Management Area Control
	Flow 2 [rp]	
	Level Crossings With Sightlines Control	
	Macroinvertebrate Community Index	
	Parking Variation Control	
	Subdivision Variation Control	
	Surf Breaks [rcp]	

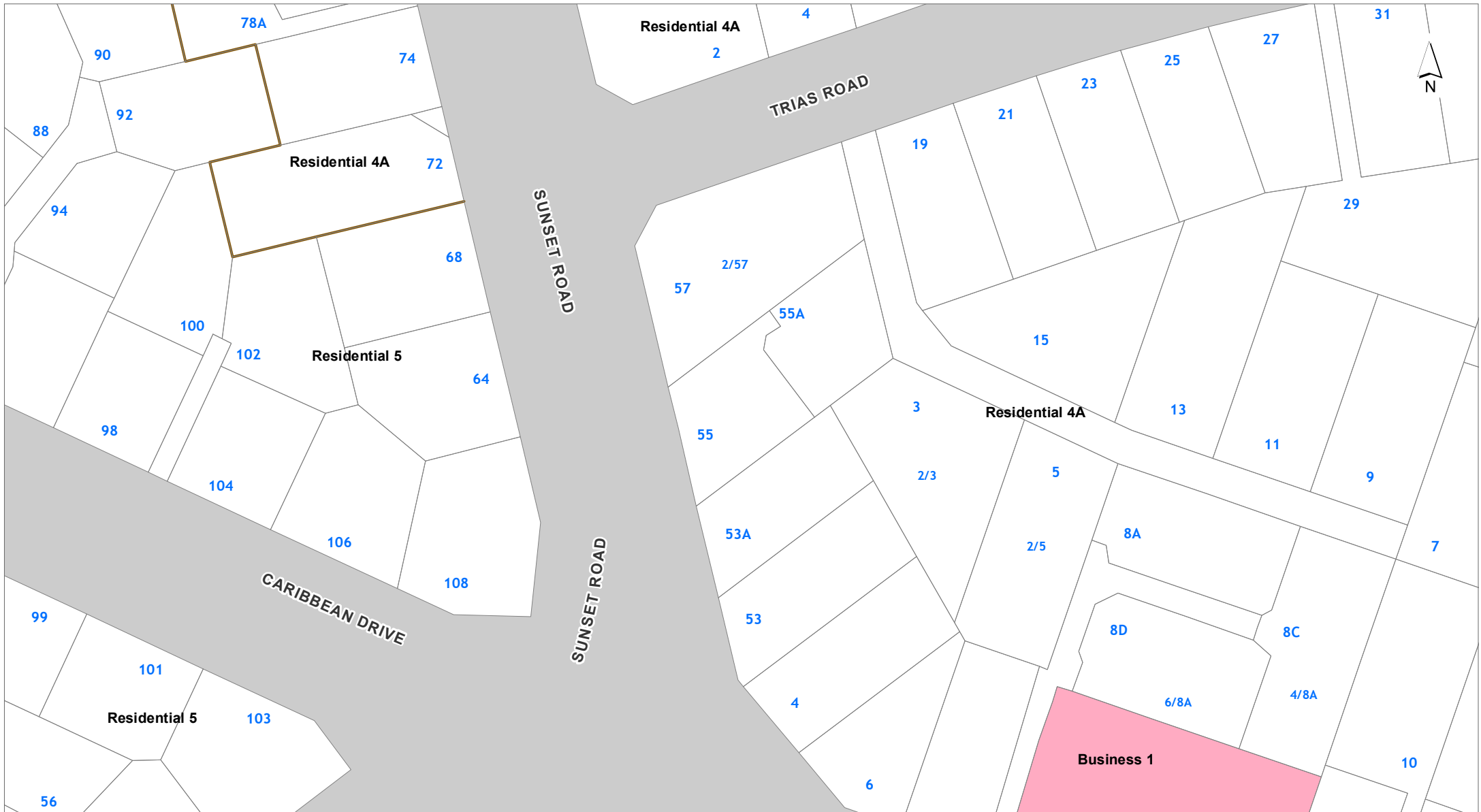


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**55 Sunset Road Totara Vale 0632**  
**Lot 1 DP 349448**

0 6.5 13 19.5  
 Meters  
**Scale @ A4**  
 = 1:1,000  
**Date Printed:**  
 2/11/2017









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**55 Sunset Road Totara Vale 0632**  
**Lot 1 DP 349448**







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

Zones

-  Business 1 - 12
-  Recreation 1 - 4
-  Residential 1 - 8
-  Residential Expansion
-  Rural 1 - 4
-  Wharf
-  Special Height Restriction
-  Special Purpose 1 - 15
-  Zone Boundary  
(Indicates the boundary between two different zones of the same type, or; where a zone does not follow a cadastral boundary)

General Overlays

-  Building Line Restriction
-  Designation
-  Road, Service Lane, Accessway
-  Road to be Closed
-  Preferred Road
-  Dairy Flat Runway Approach





Natural Features

- Reserve / Open Space**
-  Stream
-  Stormwater Ponds (location indicative)
-  Reserve / Open Space Linkages
-  Proposed Reserve
-  Small Geological Site
-  Large Geological Site
-  Site of Special Wildlife Interest
-  Significant Landscape Features
-  Coastal Conservation Area
-  Coastal Marine Area Boundary
-  Foreshore Yard (Measured from either; Mean High Water Spring or a surveyed reference line)















Long Bay

-  Ridgeline Height Control
-  Long Bay Streams
-  Riparian Margin (Long Bay 6 Zone)
-  Service Utility (location indicative)
-  10m Vaughans Road Setback
-  Piripiri Point Protection Area
-  Park Interface Protection Area
-  Landscape Protection Area - Conservation
-  Landscape Protection Area - Enhancement
-  Landscape Protection Area - Restoration
-  Heritage Management Plan Area
-  Ecology / Stormwater Management Area
-  Stream Interface Management Area
-  Proposed Road or Service Lane

Heritage

-  Archaeological Site
-  Historic Building, Object or Place
-  Notable Trees
-  Notable Grove of Trees

Structure Plan Zones

-  A(A) - Area A : Environmental Protection (Albany)
-  A(G) - Area A : Environmental Protection (Greenhithe)
-  B(A) - Area B : Environmental Protection (Albany)
-  B(G) - Area B : Environmental Protection (Greenhithe)
-  C - Area C : Standard Residential (Albany & Greenhithe)
-  D - Area D : Standard Residential (Albany & Greenhithe)
-  MX - Area MX : Mixed Use Overlay Area (Albany & Greenhithe)
-  LB1A - Long Bay 1A (Large Lot Residential 2500m2)
-  LB1B - Long Bay 1B (Rural Residential 5000m2)
-  LB1C - Long Bay 1C (Piripiri Point Rural)
-  LB2 - Long Bay 2 (Suburban Neighbourhood)
-  LB3A/B - Long Bay 3A & 3B (Urban Neighbourhood)
-  LB4 - Long Bay 4 (Urban Village)
-  LB5A/B - Long Bay 5A & 5B (Village Centre)
-  LB7 - Long Bay 7 (Heritage Protection)
-  LB6 - Long Bay 6 (Stormwater Management)

Legend updated: 4/11/2016

This property may be affected by designations not shown on this map due to scaling or represented on this Legend. Please refer to the Auckland Council District Plan (North Shore Section)

## Auckland Unitary Plan Operative in part (15th November 2016) Property Summary Report

### Address

55 Sunset Road Totara Vale 0632

### Legal Description

Lot 1 DP 349448

### Appeals

### Modifications

### Zones

Residential - Mixed Housing Urban Zone

### Precinct

### Controls

Controls: Macroinvertebrate Community Index - Urban

### Overlays

### Designations

# CITY OF TAKAPUNA

## Application for Drainage and/or Sanitary Plumbing Permit

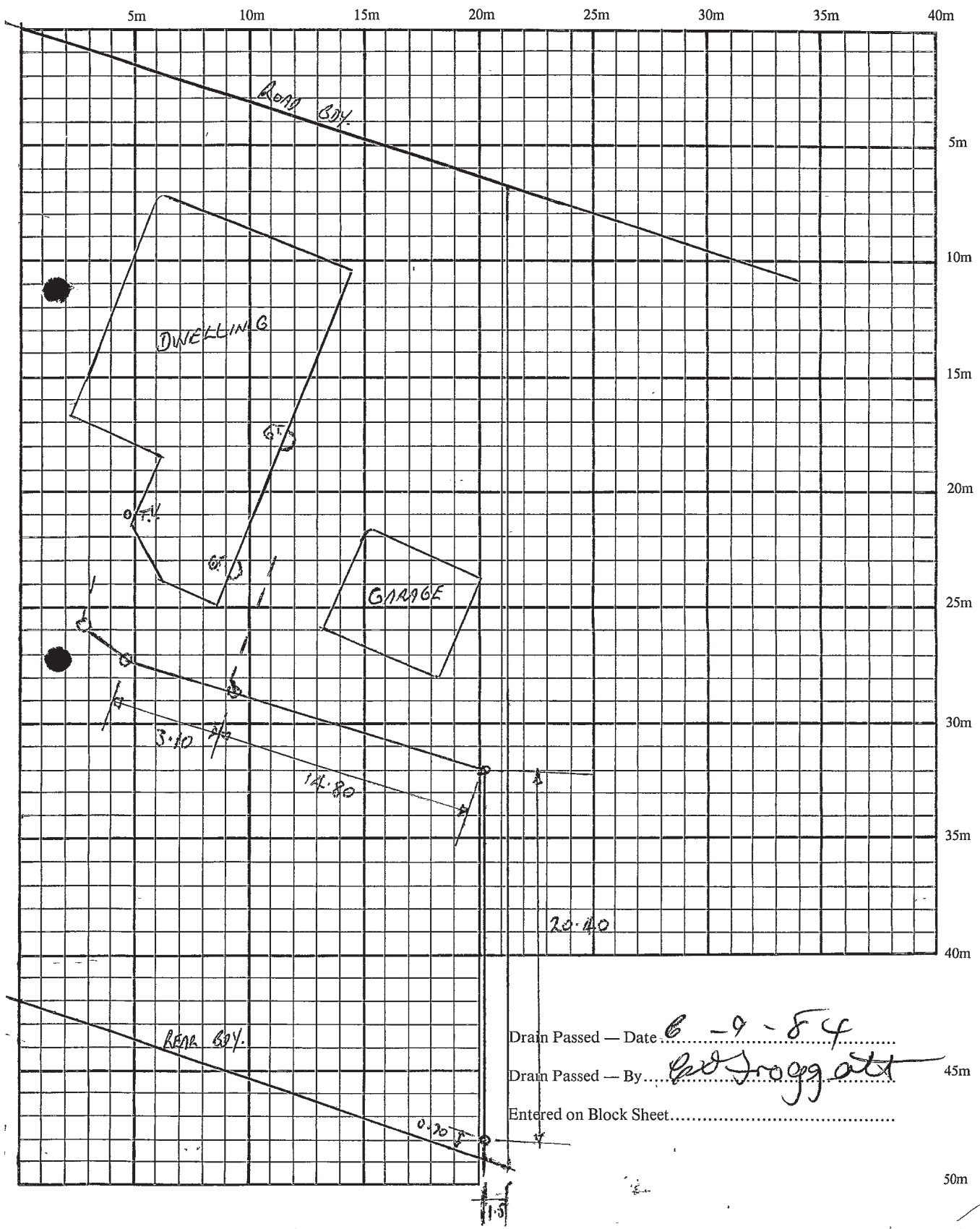
‘AS BUILT PLAN’

TO BE PRESENTED TO INSPECTOR  
AT TIME OF DRAIN TEST

Building Permit No. ....  
 Drainage/Plumbing Permit No. ....  
 Lot ... 1 ... D.P. ....  
 No. 55 Street SCINSET ROAD  
 Owner's Name E. T. HOGAN  
 Drainlayer's/Plumber's Name WHITE AND ALLEN  
 Drainlayer's/Plumber's Signature D. G. WHITE

SCALE = 5mm = 1m (1-200) one small square equals 1m<sup>2</sup>  
 All other sections (including farms, etc), please state scale used.

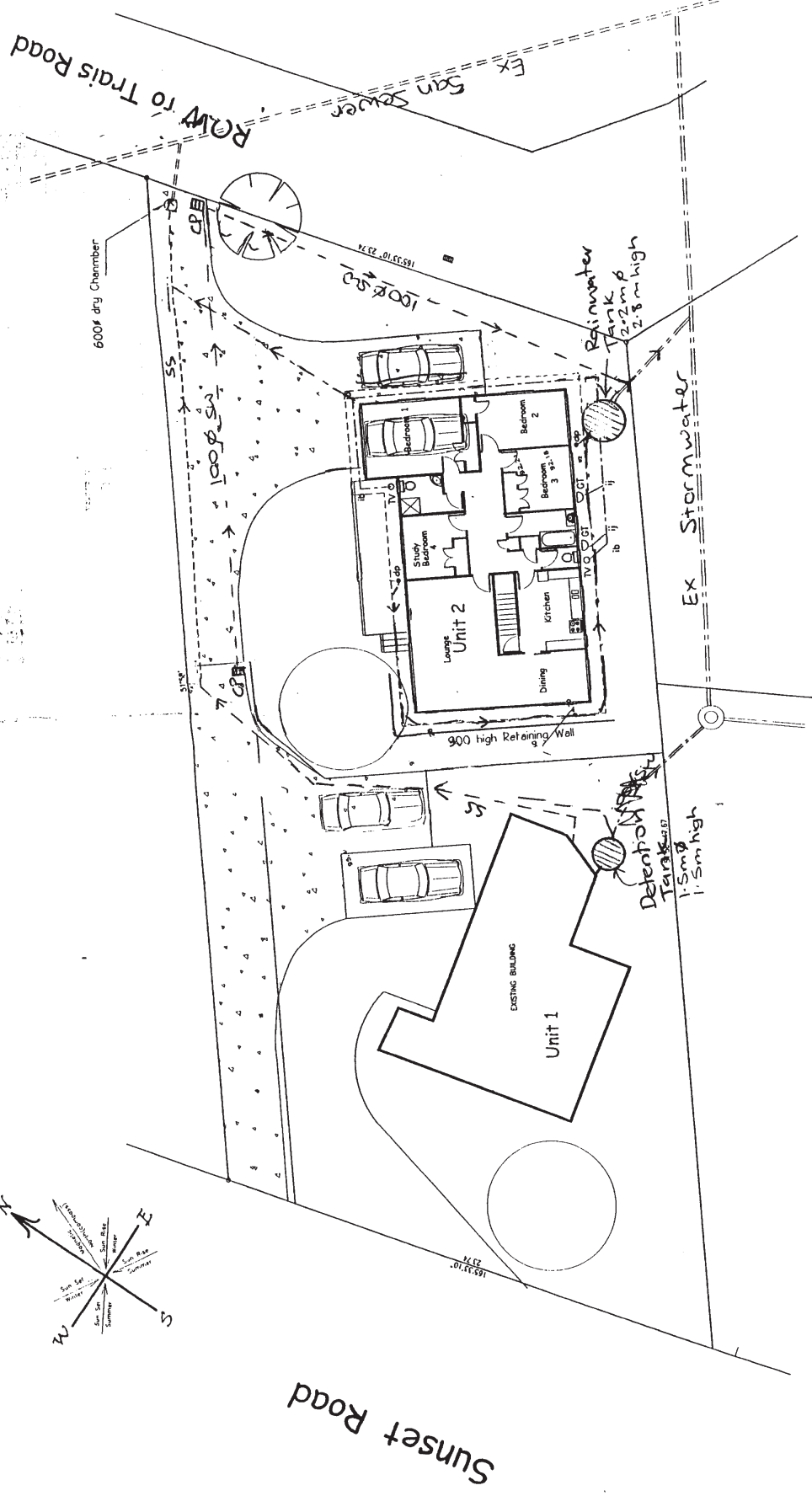
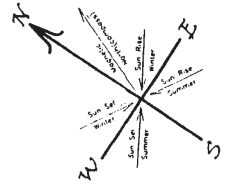
### ROAD BOUNDARY



Drain Passed — Date 6-9-84  
 Drain Passed — By [Signature]  
 Entered on Block Sheet.....



Pg 10



### Drainage Layout

Drawn for you by B. C. W  
 Scale 1:200  
 Date 11.05.03

Proposed Site Layout  
 for C. H. Mansell  
 55 Sunset Road - Glenfield

LAC2003501

**NORTH SHORE CITY COUNCIL  
DECISION ON RESOURCE CONSENT REFERENCE LUC/2003501**

The application by Collin Mansell for the relocation of a second hand dwelling on site, exposing 420m<sup>2</sup> of bare earth, exceeding height in relation to boundary by a maximum of 1.18 metres along the eastern site boundary and 0.685 metres along the southern site boundary, the removal of nine protected trees and works within the rootzone of retained protected trees on site and within the road reserve at 55 Sunset Road, Glenfield (being Lot 1 DP 56816) was considered by the Takapuna Hearing Commissioners on the 5<sup>th</sup> December 2003 whereby it was resolved:

That the application has been dealt with as a non-notified **Limited Discretionary** activity, pursuant to Section 94 of the Resource Management Act 1991 for the reasons that:

1. The adverse effect on the environment of the activity for which consent is sought will be minor because:
  - The applicant has demonstrated that the effects of development in particular sedimentation and run-off can be contained wholly within the subject site through the use of appropriate site management techniques.
  - Vegetation clearance will be appropriately mitigated by proposed replanting and associated landscaping creating a pleasant area of outdoor living for the intended occupants of the dwelling further contributing to the overall character and amenity of the neighbourhood. Works within the rootzone of protected trees will be undertaken under arboricultural supervision with appropriate techniques employed to maintain the health and vitality of the subject trees.
  - The height in relation to boundary infringements will not physically dominate or adversely alter the ability of neighbouring sites to receive adequate sunlight or daylight access.
  - The relocated dwelling will appear similar in appearance and character to existing buildings within the locality.
  - The dwelling will not compromise the character of the streetscape. The residence is not visually obtrusive and fencing and proposed landscaping will achieve a reasonable level on-site and neighbourhood amenity.
2. The Council is satisfied that appropriate conditions can be imposed to avoid, remedy or mitigate any adverse effects which arise from those matters over which the Council has restricted its discretion.
3. Written approval has been obtained from every person that may be adversely affected by the granting of the resource consent being:
  - H Lee and Y Chun of 1/3 Trias Road, Glenfield
  - PA and TA Fincahm of 2/3 Trias Road, Glenfield
  - CJH Chia of 1/5 Trias Road, Glenfield

- N A Baden of 2/5 Trias Road, Glenfield
  - RG and KA Nimmo of 7 Trias Road, Glenfield
  - HA and T Fenemore of 9 Trias Road, Glenfield
  - CL and TE Hickey of 11 Trias Road, Glenfield
  - ST and CP Ball of 13 Trias Road, Glenfield
  - R and YB Worsfold of 15 Trias Road, Glenfield
  - Colin Mansell of 55 Sunset Road, Glenfield
  - Chris Glanfield – Road Maintenance Manager – North Shore City Council
4. There are no other persons considered to be adversely affected by the granting of this resource consent.
5. There are no special circumstances to warrant notification.

That the application **BE GRANTED** pursuant to Sections 104, 105 and 108 of the Resource Management Act 1991 for the following reasons:

1. The proposal satisfies the specific provisions of the District Plan over which North Shore City Council has restricted the exercise of its discretion in assessing the application.
2. The proposal satisfies the relevant assessment criteria set out at 16.7.5 Assessment Criteria for Control Flexibility because of the minor effect of the dwelling with regards to dominance, shadowing, amenity and the preservation of the character of the streetscape. 9.7.1.1 General Assessment Criteria because the applicant has demonstrated that the effects of development in particular sedimentation and runoff can be contained wholly within the subject site through the use of appropriate site management techniques, the visual quality of the landscape will be retained and noise, vibration and dust effects will be temporary and restricted to the construction period only. 16.7.2 as the dwelling is similar in appearance and character to existing dwellings within the locality and 8.4.6.6.1 as proposed tree removal will be appropriately mitigated by replacement planting and attractive landscaped grounds and effective tree protection methodology will ensure construction activity will not adversely impact upon the health and vitality of protected trees on site.
3. Any actual or potential effects on the surrounding environment will be minor as:
  - Site works are necessary to create a safe, stable and level building platform and vehicular access and the applicant has demonstrated that the effects of the site works will be appropriately contained within the subject site by implementing site management measures in accordance with ARC Technical Publication No. 90.
  - The proposed dwelling is in keeping the general character and amenity of the neighbourhood.
  - The level of proposed vegetation removal will be appropriately mitigated by replacement planting and landscaping creating an attractive living environment for the dwellings occupants.

Furthermore the development will be undertaken in accordance with appropriate tree protection methodologies ensuring to maintain the health and longevity of retained protected trees on site.

- The dwelling will not unduly dominate or adversely restrict sunlight or daylight access to neighbouring sites and proposed landscaping and boundary fencing will ensure maximum privacy between lots is maintained.
4. The proposal is not considered to be contrary to the objectives and policies of the District Plan at 8.3.4 Tree Protection, 9.3.1 Protection of the Environment; 16.3.1 Zones, 16.3.3 Development Controls, 16.3.5 Housing Choice and 16.4.4 Residential 4 Zone: Main Residential Area.
  5. There will be no significant adverse effect on the surrounding environment from the removal of the trees as:
    - a) The removal will not affect the character of the site/street.
    - b) The trees do not form part of a comprehensive planting of trees within the street.
    - c) The visual loss of the trees is compensated by proposed replacement planting and site landscaping.
  6. The removal is not contrary to the tree protection rules of the plan as:
    - a) The removal of trees/vegetation is necessary to provide a suitable and practical building platform.
    - b) The trees do not possess features of particular public amenity for which their long-term preservation is warranted.

#### **CONSENT IS GRANTED SUBJECT TO THE FOLLOWING CONDITIONS:**

##### **General Conditions**

1. The development shall proceed in general accordance with the plans prepared by B.C.W, sheet 1 dated 11.09.03, sheet 2 dated 11.10.03, sheet 3 dated 19.07.03, sheet 4 dated 19.07.03, sheet 5 dated 19.07.03, sheet 6 dated 19.07.03, stamped and referenced by Council as LUC2003501 and the description of the activity including methods of mitigation.
2. The extent of the infringements shall be limited to that applied for being height in relation to boundary, 1.18 metres along the eastern site boundary and 0.685 metres along the southern site boundary, removal of nine protected trees and works within the rootzone of protected vegetation on site and within the road reserve, site works disturbing 420m<sup>2</sup> of bare earth and the placement of a residential unit previously located on another site.
3. All site works and development shall proceed and be implemented in accordance with the site management plan prepared by B.C.W dated 16.08.03 labelled 'Landscaping and Silt Control', including its supporting information.
4. All personnel working on the site shall be made aware of the above. The signed 'Site Management Plan' shall be kept on site for inspection by Councils Compliance Officer.

## BEFORE CONSTRUCTION STARTS

5. Council's Monitoring Officer must be advised in writing three working days prior to any site works, including earthworks and/or vegetation removal, and before construction commences. Please fill out and return the attached form by fax or post.

## Works on Trees

6. All tree removal, pruning and works within the rootzone of all protected trees growing within No.55 Sunset Road, Glenfield, shall be undertaken in the manner as outlined in the section titled '**Tree Protection Plan**' of the submitted arboricultural report compiled by Karl Burgisser of Arborlab Consultancy Services Limited dated 26<sup>th</sup> of June 2003.
7. Notwithstanding the above condition, trees 2, 3 and 4 are to be retained and where the term 'pile hole' is mentioned, within the arboricultural report, the term shall be read as strip footing with the first bullet point being disregarded.
8. **Prior to any works commencing**, the consent holder shall supply to Council details of the contracted arborist (appointed arborist) that will be undertaking the monitoring and supervision of the demolition and construction works.
9. **Prior to any works commencing**, the consent holder and appointed arborist shall arrange a site meeting to explain the conditions of consent to all contractors, sub-contractors and works supervisory staff who are carrying out any works associated with the project within the rootzone of any protected tree covered by this consent.
10. The location of the accessway within the rootzone of Trees 2, 3 and 4 shall be in accordance with the site plan submitted with the application titled Proposed Site Layout for C.H. Mansell 55 Sunset Road – Glenfield – dated 11.09.03.
11. The section of accessway positioned within the rootzone of the Trees 2, 3 and 4 shall be constructed in a manner that 'bridges' the sensitive root system of the tree. The accessway shall be constructed without the requirement to undertake any form of excavations within the rootzone of the 3 trees. The surfacing of the accessway shall be of a permeable material, which allows the effective percolation of water through the accessway. The applicant shall submit to Council's arborist **prior to any works commencing on site** a design and construction methodology for the portion of the accessway within the rootzone of the 3 Kanuka (this shall include all manufacturer construction specifications). The design and construction methodology for the bridging portion of the accessway shall be to satisfaction of Council.

## Engineering Conditions

12. The consent holder shall install measures to control and/or mitigate any silt runoff, sedimentation or erosion that may occur. These measures shall be

implemented prior to the commencement of any earthworks on site and shall remain in place for the duration of the project. These measures shall be designed having regard to Technical Publication No.90 of the Auckland Regional Council, and be implemented to the satisfaction of Council's Monitoring Officer.

13. The consent holder shall provide a geo-technical report with any building consent application necessary for structures or development works covered by this resource consent approval.
14. The consent holder shall provide a wastewater drainage system (sanitary sewer), the design of which shall be presented to Council for approval with the building consent application, or (if public), as an Engineering Works application.
15. The consent holder shall provide a stormwater drainage system, the design of which shall be presented to Council for approval with the building consent application, or (if public), as an Engineering Works application. This stormwater drainage system shall comply with Council's design standards and the Storm water Disposal Policy August 2002 (available on Council's website [www.northshorecity.govt.nz](http://www.northshorecity.govt.nz)). It shall cater for all stormwater runoff resulting from a 10 year Average Recurrence Interval (ARI) storm for residential developments including runoff from catchment areas above the site. The system shall attenuate runoff peaks such that there is no increase runoff flow rates above predevelopment levels for 2 and 10-year ARI storms. There shall be a minimal increase in overall stormwater volumes above pre development levels through on-site controls.
16. The consent holder shall take note of any existing overland flows on the proposed development site, and shall provide suitable means to eliminate or mitigate these flows to the satisfaction of the Council's Development Engineer and shall be presented to the Council with the Building Consent application.
17. The consent holder's stormwater drainage system shall include, to the satisfaction of the Council's Stormwater Operations Manager, appropriate measures to avoid, control or mitigate the adverse effects or urban stormwater runoff on "water quality" in the aquatic receiving environments.

## **DURING CONSTRUCTION**

### **General**

18. A copy of the consent conditions and site management plan required by condition 3 shall be kept on site at all times and all contractors and sub-contractors shall be aware of and work in accordance with them. It is the responsibility of the consent holder to ensure that this happens.
19. All services shall be placed underground.

### **Parking & Access**

20. All parking spaces, access-ways and manoeuvring areas must be formed and finished with an all-weather dust-free surface, drained and marked out to the satisfaction of the Council's Monitoring Officer prior to the occupation of the dwelling.



### Surveyor's Certificate

21. In order to ensure the proposed building is built in accordance with the approved plans and it does not exceed the degree of infringement applied for and elsewhere complies with the maximum height/the height to boundary control of the North Shore City District Plan, the consent holder shall employ a Registered Surveyor at his/her own expense who shall;

- a) Set out the foundations of the proposed structure, and
- b) Certify to Council's Monitoring Officer in writing that the foundations have been set out in accordance with the approved consent in terms of levels and position, and confirm that if built in accordance with the approved plans, the building will meet the control/s above.

### AND

- c) Prior to the prelining stage, check that the entire proposed building does not exceed the degree of infringement applied for and will meet the control/s above, and
- d) Certify to Council's Monitoring Officer in writing that the completed building does not exceed the degree of infringement applied for and elsewhere complies with the control/s above.

### Works on Trees

22. Trees No.2, 3 and 4 shall be pruned in a manner that creates a gap of no more than 4 metres above the finished surface level of the accessway. No branches measuring greater than 50mm at the point of attachment to the parent stem shall be removed during the canopy pruning of the 3 trees.
23. Tree No. 13 shall be pruned in a manner that creates a gap of no more than 1 metre from any part of the dwelling to be constructed as part of this Consent. No branches measuring greater than 50mm at the point of attachment to the parent stem shall be removed during the canopy pruning of the Tree No.13.

### Works in the Vicinity of Protected Trees

24. Washings from using concrete products and/or cleaning concrete trucks and/or machinery shall not be discharged or deposited in the immediate vicinity of protected trees and/or vegetation, nor into the stormwater system or onto ground in a way that may contaminate the stormwater system, streams or beaches. Note that depositing washings onto ground that will not impact on the features listed above is acceptable, such as grassed areas.
25. Services shall not be laid within the root zones of protected trees.
26. Landscaping within the root zones of retained protected trees on the site shall exclude any excavations and/or the use of impermeable surfacing.

### Engineering Conditions/Site Management

27. The consent holder shall institute appropriate measures to control or mitigate any potential dust nuisance. All such measures initiated shall be maintained throughout the entire duration of the construction period. The

Council reserves the right at all times to stop the works in and during periods of high winds. Note: No burning of any rubbish, vegetation or other material will be permitted except with the appropriate Fire Permit.

28. Construction activity shall occur on the site in accordance with the following noise limits:

**Weekdays:**

6.30am - 7.30am    less than an L<sub>10</sub> level of 60 dBA  
 7.30am - 6pm        less than an L<sub>10</sub> level of 75 dBA  
 6pm - 8pm            less than an L<sub>10</sub> level of 70 dBA

**Saturdays:**

7.30am - 6pm        less than an L<sub>10</sub> level of 75 dBA

**Sunday, Public Holidays and all other times:**

No noise permitted on site above the normal background level, i.e. no heavy machinery or noise producing equipment. Where the L<sub>10</sub> is a noise level, which is equalled or exceeded for 10% of any 15-minute measurement period. The site is to comply with **NZS 6803P** at all times. Note: The intent of the standard is that all noisy construction work will take place between 7.30am and 6pm, Monday to Saturday.

29. The consent holder shall implement, to the satisfaction of Council's Monitoring Officer, suitable measures to prevent depositing of earth on surrounding streets by trucks moving fill and other materials to and from the site. In the event that any material is deposited on the street, the consent holder shall take immediate action, at their expense, to clean the street. The loading of earth, fill and other materials shall be confined to the subject site.

**Landscape Plan**

30. The landscape plan, Ref. No. LUC2003501 dated 16.08.03 and prepared by B.C.W shall be implemented to the satisfaction of the Council's Monitoring Officer by the occupation of dwelling.

**FOLLOWING COMPLETION OF CONSTRUCTION**

**Revegetation**

31. Those areas of excavation not covered by buildings, parking or access-ways shall be re-vegetated (e.g. by re-grassing) within one month of the completion of siteworks, or as soon as practicable thereafter, to the satisfaction of Council's Monitoring Officer.

**Work on Trees**

32. An end of project compliance memo shall be supplied to Council as identified within the submitted arboricultural report.
33. Within the next planting season (i.e. Autumn or Spring) immediately following the removal of the trees, the consent holder shall plant 5 appropriate replacement native trees with a minimum root ball size of Pb95 and a minimum height of 1.8 metres at the time of planting and 4 replacement trees with a minimum root ball size of Pb60 and a minimum height of 1 metre at the time of planting.



34. All replacement trees shall be protected and maintained thereafter in correct arboricultural fashion. The replacement trees shall be planted in locations that will allow them to develop into their intended mature shape and size.
35. The contracted arborist carrying out the work shall hold a copy of Conditions of Consent and the arboricultural report compiled by Karl Burgisser of Arborlab Consultancy Services Limited dated 26<sup>th</sup> June 2003 on site and shall be familiar with and work in accordance with them. It is the responsibility of the consent holder to ensure that this happens.

**Landscape Plan**

36. The approved landscaping shall be maintained as described in the maintenance schedule accompanying the landscaping plan to the satisfaction of Council's Monitoring Officer.

Notwithstanding the ability to apply for an extension under section 125 of the Resource Management Act 1991, this consent will lapse on: 5<sup>th</sup> December 2005.